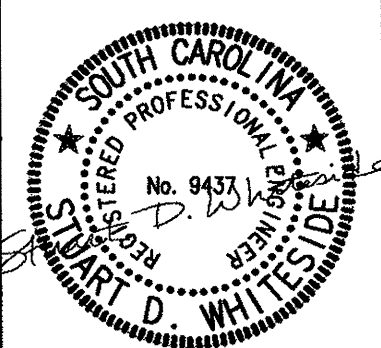




**OFFICES at BELLE HALL**  
Southeast Management and Leasing Corporation  
Mount Pleasant, South Carolina



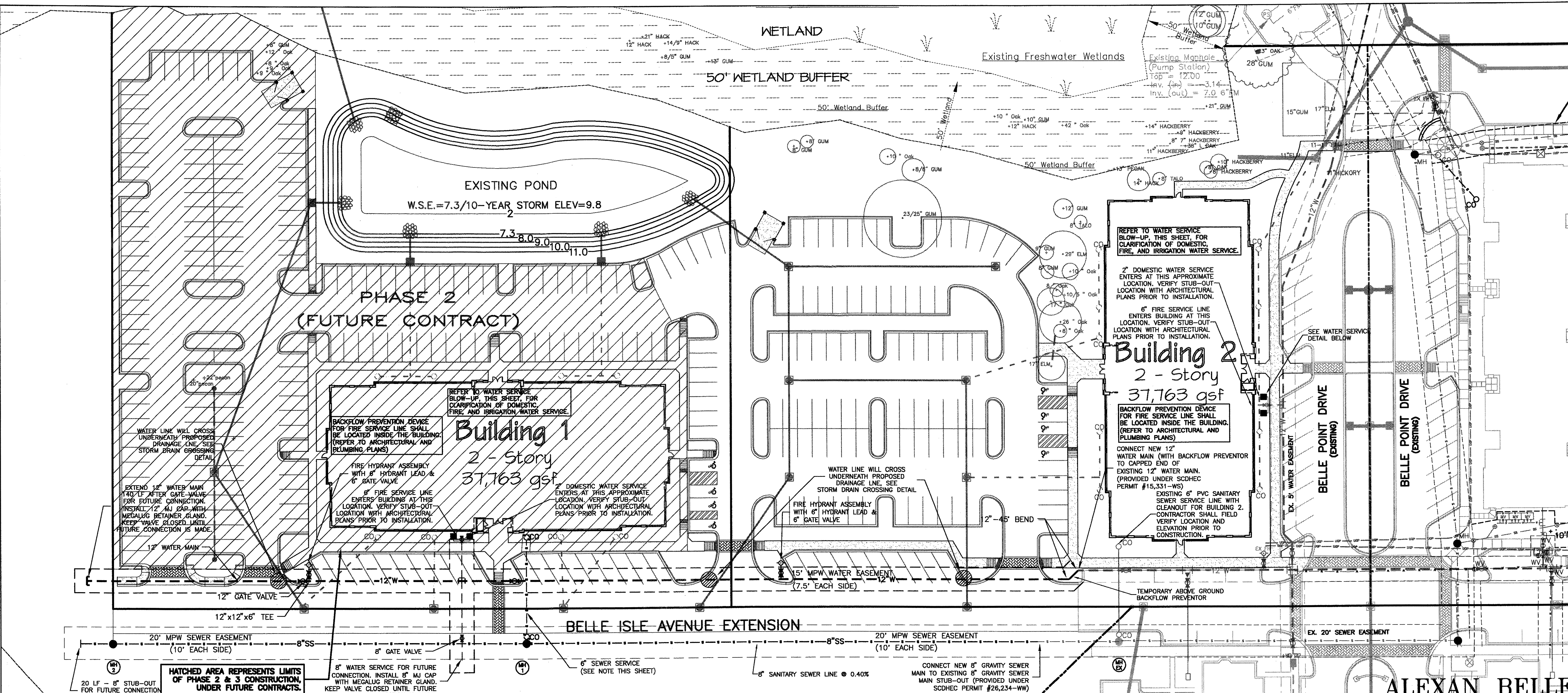
DRAWN BY: AJA  
CHECKED BY: SDW

PLOT SCALE:  
1" = 1'  
SERVER FILENAME:  
3552\CDWG\3552waterA.DWG

PROJECT: 4751.20  
DATE: 1/06/06

NO.	DATE	REVISION NOTES	BY	ID	JD	BP	BR	BP	BR	BP	BR	BP	BR
1	12/20/05	REVISED PARKING LOT LAYOUT & ADD EASEMENT WIDTH											
2	1/18/06	WTR AND SWR SERVICES (BIDG T OF ADJACENT PROJECT)											
3	1/06/06	FINAL SUBMITTAL TO TOWN											
4	1/27/06	NOTE REVS. TO SHOW LIMITS OF WATER/SEWER CONSTRUCTION											
5	1/27/06	REVISED SITE PLAN PER UPDATED BOUNDARY											

**UTILITY PLAN**



**GENERAL NOTES:**

- THE 5.61-AC. SITE IS CURRENTLY UNDEVELOPED AND IS IDENTIFIED AS CHARLESTON COUNTY TMS# 540-00-00-002
- THE PROPOSED USE OF THE SITE IS BUSINESS AND MEDICAL OFFICES  
CURRENT ZONING: PLANNED DEVELOPMENT (AB USES)
- BUILDING SETBACKS: FRONT/REAR YARD N/A  
SIDE YARD N/A
- THE OWNER/DEVELOPER IS:  
SOUTHEAST MANAGEMENT AND LEASING CORPORATION  
771 VIRGINIA AVENUE  
ATLANTA, GA 30354-1311  
CONTACT: IAN SMITH PHONE: (404) 762-8001
- BOUNDARY, TOPOGRAPHIC, AND TREE SURVEY BY A.H. SCHWACKE AND ASSOCIATES, INC.
- ALL ELEVATIONS ARE BASED ON MEAN SEA LEVEL (M.S.L.) NGVD 1929
- THIS PROPERTY LIES IN FLOOD ZONE AE (ELEVATION 12) BASED ON FEMA FLOOD INSURANCE RATE MAP COMMUNITY NUMBER #455417, PANEL 0328, SUFFIX J, DATED NOVEMBER 17, 2004
- ALL INTERNAL MEASUREMENTS ARE CALCULATED AND ARE NOT SURVEYED UNLESS OTHERWISE NOTED
- THE CONTRACTOR SHALL VERIFY THE EXISTING TOPOGRAPHIC WORK AND EXISTING UTILITY LINE LOCATIONS AND ELEVATIONS PRIOR TO BEGINNING WORK. SHOULD THE CONTRACTOR FIND ANY DISCREPANCIES ON THE DRAWINGS PRIOR TO BEGINNING WORK OR DURING CONSTRUCTION, HE SHALL NOTIFY THE ENGINEER IMMEDIATELY
- ALL CONTRACTORS MUST HAVE A MT. PLEASANT BUSINESS LICENSE PRIOR TO BEGINNING WORK
- UTILITY SERVICE TO SITE PROVIDED AS FOLLOWS:  
WATER/SEWER: MT. PLEASANT WATERWORKS  
ELECTRICAL: SCE&G  
TELEPHONE: BELLSOUTH
- REFER TO ARCHITECTURAL PLANS FOR BUILDING DETAILS
- AN AUTOCAD DISK OF THIS DRAWING WILL BE PROVIDED TO THE CONTRACTOR FOR STAKING PURPOSES
- SIGHT DISTANCE VISIBILITY AT ALL EXITS AND/OR INTERSECTIONS SHALL BE MAINTAINED IN ACCORDANCE WITH SCODOT'S ACCESS AND ROADSIDE MANAGEMENT STANDARDS MANUAL

**EXISTING UTILITY NOTE:**

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING ANY WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

**NOTE:** SEWER SERVICE LINE SIZES AND LOCATIONS SHALL BE VERIFIED WITH ARCHITECTURAL AND PLUMBING PLANS.

**NOTE:** WATER AND FIRE SERVICE LINE SIZES AND LOCATIONS SHALL BE VERIFIED WITH ARCHITECTURAL AND PLUMBING PLANS.

SEE SHEET C7 FOR WATER AND SEWER NOTES

THE EXISTING WATER SYSTEM SHOWN (ASSOCIATED WITH THE S. EGYPT ROAD AND BELLE POINT DRIVE EXTENSIONS) IS PROVIDED UNDER SCDHEC PERMIT# 15,331-WS.

THE EXISTING SEWER SYSTEM SHOWN (ASSOCIATED WITH THE S. EGYPT ROAD AND BELLE POINT DRIVE EXTENSIONS) IS PROVIDED UNDER SCDHEC PERMIT# 26,234-WW

**SEWER SERVICE NOTE:**  
ALL SANITARY SEWER SERVICE LINES SHALL BE 6" PVC AND SHALL BE LAID ON A MINIMUM SLOPE OF 0.50%. CONTRACTOR SHALL MAINTAIN ACCURATE RECORDS OF SEWER SERVICE INSTALLATION AND FURNISH AS-BUILT LOCATIONS TO ENGINEER POST CONSTRUCTION.

