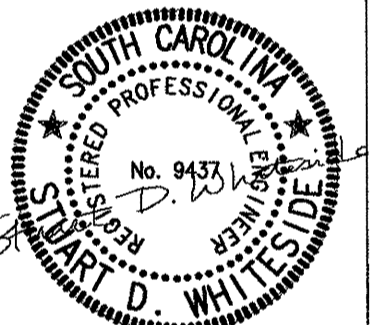




OFFICES at BELLE HALL
Southeast Management and Leasing Corporation
Mount Pleasant, South Carolina



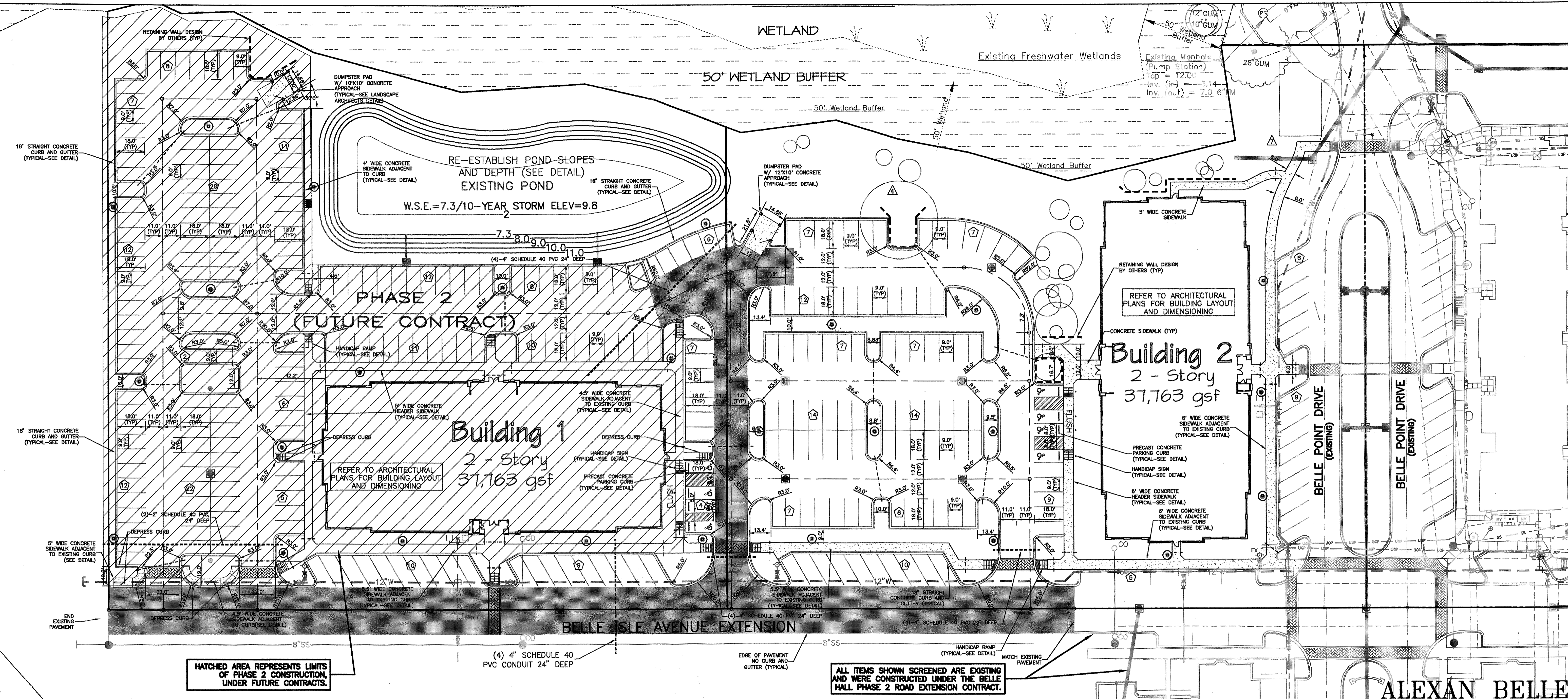
DRAWN BY: WSC
CHECKED BY: SDW

PLOT SCALE:
1 = 1
SERVER FILENAME:
3552.CDWG, 3552geoA.DWG

PROJECT: 4751
DATE: 1/06/06

NO.	DATE	REVISION NOTES
1	8/27/01	CORRECT DISTANCES ALONG FRONT PROPERTY LINE
2	7/18/01	WIR AND SWIR SERVICES (BIDS 1 OF ADJACENT PROJECT)
3	1/4/02	FLARE END OF TREE WELL RETAINING WALL PER MT PLEASANT
4	1/27/06	FINAL SUBMITTAL TO TOWN
5	1/27/06	4" SIDEWALK REMOVED FROM ISLAND
6	1/30/06	SIDEWALK REVISION PER TOWN COMMENT
7	4/27/06	REVISED SITE PLAN PER UPDATED BOUNDARY

GEOMETRIC PLAN



GENERAL NOTES:

- THE 5.61-AC. SITE IS CURRENTLY UNDEVELOPED AND IS IDENTIFIED AS CHARLESTON COUNTY TMS# 540-00-00-002
- THE PROPOSED USE OF THE SITE IS BUSINESS AND MEDICAL OFFICES
- CURRENT ZONING: PLANNED DEVELOPMENT (AB USES)
- BUILDING SETBACKS: FRONT/REAR YARD N/A
SIDE YARD N/A
- THE OWNER/DEVELOPER IS:
SOUTHEAST MANAGEMENT AND LEASING CORPORATION
771 VIRGINIA AVENUE
ATLANTA, GA 30354-1311
CONTACT: IAN SMITH PHONE: (404) 762-8001
- BOUNDARY, TOPOGRAPHIC, AND TREE SURVEY BY A.H. SCHWACKE AND ASSOCIATES, INC.
- ALL ELEVATIONS ARE BASED ON MEAN SEA LEVEL (M.S.L.) NGVD 1929
- THIS PROPERTY LIES IN FLOOD ZONE AE (ELEVATION 12) BASED ON FEMA FLOOD INSURANCE RATE MAP COMMUNITY NUMBER #455417, PANEL 0528, SUFFIX J, DATED NOVEMBER 17, 2004
- ALL INTERNAL MEASUREMENTS ARE CALCULATED AND ARE NOT SURVEYED UNLESS OTHERWISE NOTED
- THE CONTRACTOR SHALL VERIFY THE EXISTING TOPOGRAPHIC WORK AND EXISTING UTILITY LINE LOCATIONS AND ELEVATIONS PRIOR TO BEGINNING WORK. SHOULD THE CONTRACTOR FIND ANY DISCREPANCIES ON THE DRAWINGS PRIOR TO BEGINNING WORK OR DURING CONSTRUCTION, HE SHALL NOTIFY THE ENGINEER IMMEDIATELY
- ALL CONTRACTORS MUST HAVE A MT. PLEASANT BUSINESS LICENSE PRIOR TO BEGINNING WORK
- UTILITY SERVICE TO SITE PROVIDED AS FOLLOWS:
WATER/SEWER: MT. PLEASANT WATERWORKS
ELECTRICAL: SCE&G
TELEPHONE: BELLSOUTH
- REFER TO ARCHITECTURAL PLANS FOR BUILDING DETAILS
- AN AUTOLOAD DISK OF THIS DRAWING WILL BE PROVIDED TO THE CONTRACTOR FOR STAKING PURPOSES
- SIGHT DISTANCE VISIBILITY AT ALL EXITS AND/OR INTERSECTIONS SHALL BE MAINTAINED IN ACCORDANCE WITH SCDOT'S ACCESS AND ROADSIDE MANAGEMENT STANDARDS MANUAL.

EXISTING UTILITY NOTE:

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING ANY WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTES REGARDING PARKING LOT STRIPING:

- ALL PARKING LOT STRIPING SHALL BE PERFORMED BY THE CONTRACTOR USING WHITE TRAFFIC MARKING PAINT UNLESS OTHERWISE NOTED. PAINT SHALL BE SHERWIN WILLIAMS "PRO-MAR" TRAFFIC MARKING PAINT OR GILDEN TRAFFIC PAINT AND SHALL BE APPLIED IN TWO COATS AND IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- ALL TRAFFIC SIGNAGE AND STREET MARKING SHALL BE IN CONFORMANCE WITH THE SCUTDPT, LATEST EDITION.
- ITEMS TO BE PAINTED WHITE INCLUDE: PARKING STALLS AND DIRECTIONAL ARROWS.
- ITEMS REQUIRING YELLOW PAINT INCLUDE RAISED DIVIDERS AND/OR MEDIANS, ALL STREWORK PROTECTIVE GUARD POSTS BEYOND 5 FEET OF THE BUILDING, STEEL PIPE BASE OF HANDICAP PARKING SIGNS AND HANDICAP RAMPS.
- ITEMS REQUIRING BLUE PAINT INCLUDE HANDICAP PARKING STALLS AND SYMBOLS; ALL STRIPED ISLANDS ADJACENT TO HANDICAP PARKING SPACES; AND ALL PEDESTRIAN CROSSING AREAS.

NOTES REGARDING PARKING LOT SIGNAGE:

- THE CONTRACTOR SHALL FURNISH AND INSTALL "HANDICAPPED PARKING" SIGNS WITH IDENTIFYING HANDICAPPED SYMBOL AT ALL HANDICAPPED PARKING SPACES. SIGNS SHALL BE 12" X 18" 0.080 ALUMINUM WITH BAKED ENAMEL FINISH. SIGNS SHALL HAVE WHITE LETTERING ON BLUE BACKGROUND, WITH INSTALLATION SHOWN ON THE DETAIL SHEET. SIGNS SHALL CONFORM TO FEDERAL HIGHWAY ADMINISTRATION AND/OR SCDPTM SPECIFICATIONS. INCLUDE "VAN ACCESSIBLE" SIGNAGE WHERE APPLICABLE.

SITE PARKING SUMMARY:

BUILDINGS 1 & 2: 75,526 gsf @ 1 sp/250 gsf* = 302 SPACES
(*PARKING RATIO APPROVED BY PLANNING DIRECTOR 10/24/00)

PAVING MATERIALS LEGEND:

ASPHALTIC CONCRETE SHOWN TYPICALLY AS [Pattern] NOT HATCHED
SEE DETAIL SHEET FOR CROSS SECTION

PORTLAND CEMENT CONCRETE SHOWN TYPICALLY AS [Pattern]
SEE DETAIL SHEET

STAMPED ASPHALT CROSSWALK W/ 9" CONCRETE BAND SHOWN TYPICALLY AS [Pattern]

HEAVY DUTY ASPHALTIC CONCRETE SHOWN TYPICALLY AS [Pattern]
FOR CROSS SECTION

CONDUIT LINETYPE LEGEND:

UTILITY:

BELLSOUTH CONDUIT AND HANDHOLE [Symbol]

COMCAST CONDUIT [Symbol]

SCE&G CONDUIT AND TRANSFORMER [Symbol]

LANDSCAPING IRRIGATION:

4" & 6" PVC CONDUIT [Symbol]

REFER TO ARCHITECTURAL PLANS FOR BUILDING PLANS AND DIMENSIONS.

ALL TREE PROTECTION MEASURES SHALL BE IN PLACE PRIOR TO BEGINNING CONSTRUCTION.

ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED

REFER TO TREE REMOVAL/PROTECTION, EROSION & SEDIMENT CONTROL PLAN FOR TREES TO BE REMOVED.

ALL CONDUIT SHOWN IS PER BELLSOUTH. CONTRACTOR SHALL VERIFY NUMBER, SIZE, LOCATION, AND DEPTH WITH BELLSOUTH AND OWNER PRIOR TO CONSTRUCTION.

REFER TO LANDSCAPE ARCHITECTURAL PLANS FOR IRRIGATION CONDUIT SIZE AND LOCATION.

CALL 3 WORKING DAYS BEFORE YOU DIG
DIG - DRILL - BLAST - BORE
TOLL FREE
1-800-922-0983
PALMETTO UTILITY PROTECTION SERVICE
SOUTH CAROLINA
PUPS

